

4. Project Facts:

The proposed project is at the following stage :

- concept less than 30% PD 30% PD or greater
- other: _____

Yes No Unknown

- Project is located in multiple towns.
- May cause public controversy relative to political, social, economic, environmental, and/or cultural factors or resources to the extent the project scope and/or conditions may require modification

Yes No Unknown

Cultural Resources

- Abuts or is within the immediate environs of a town green
- Is within the ROW of, abuts, or is within the immediate environs or viewshed of the Merritt Parkway
- Abuts or is within the immediate environs of a park/recreation area
- Abuts or is within the immediate environs of a cemetery
- Requires a change in grade of earth or a paved surface
- Requires excavation, boring, or augering
- Requires removal of footings, drainage structures, utilities, other underground features
- Requires removal of tree stumps or stone walls
- Requires removal/relocation of a structure

Yes No Unknown

Air and Noise

- Requires rock ledge removal and/or slope flattening adjacent to residential areas.
- Requires interchange and/or ramp reconfiguration to include but not limited to location or number of lanes.
- Requires lengthening of exit and/or entrance ramp to include but not limited to speed change lanes.
- Requires significant removal of mature vegetation adjacent to residential areas.

Wetlands

- Does the project involve a culvert or bridge?
- If yes, is the tributary watershed to that structure \geq 1 square mile? (640 acres)
- Will the project involve full depth reconstruction / replacement of drainage systems?
- Has there been any previous coordination with NDDDB? If so, attach copy of correspondence.
- Has there been any coordination with DEP Fisheries? If so, attach copy of correspondence.
- Will the project involve stream bank stabilization or alteration \geq 200 feet in length?

5. Funding: All State Funds Federal/State Funds Federal/Local Funds
 Other : _____

6. Final Design Plan Date: Sep 19, 2012 Advertising Date Nov 28, 2012

7. Project included in Transportation Improvement Program (TIP):
 Yes No Pending: _____

8. Coordination with the Connecticut State Historic Preservation Officer has been initiated:
 Yes No, because: _____

9. Railroad ROW to be acquired: Lot will be require National Passenger Railroad Corporation (AMTRAK) agreements
 Yes (detailed in Project Description, Preliminary Design (PD) Plans, and below) No

10. Highway ROW to be acquired:
 Yes (see Project Description, PD Plans, and below)
 Yes (actual type and number to be determined; estimates are shown below)
 No
 Unknown at this time

	Total Takings	Partial Takings	Easement (slope or drainage)	Describe
<i>No. of residential parcels</i>				
<i>(# of dwelling units)</i>				
<i>No. of business parcels</i>				
<i>(# of individual businesses)</i>				
<i>Park and recreation land*</i>				
<i>Cemetery*</i>				Upper Cemetery Association Incorporated
<i>Other</i>			1	Appears likely a STC MTG certificate will be required due to impact of adding more than 200 cars to nearby state route

Name* : _____

Public Agency : _____

Private Entity : _____

Additional ROW to be used on a temporary basis, e.g., construction, utility, or slope easement, maintenance and protection of traffic:

No Unknown Yes, as follows

Project-related ROW acquired to date:

None As Follows :

11. Coordination with the Office of Environmental Compliance has been initiated via customary notification:

Yes No Other : _____

Parcels with current or past land uses associated with hazardous and/or toxic materials will be affected by the project:

No Unknown Yes, as follows :

12. Bridge:

Name / Number :

Owned By : Department Other

Crosses :

Define :

Steel surface preparation will be required: Yes No

See attached list of multiple bridge maintenance projects

13. Public Outreach has begun:

No, because :

Yes, as follows:

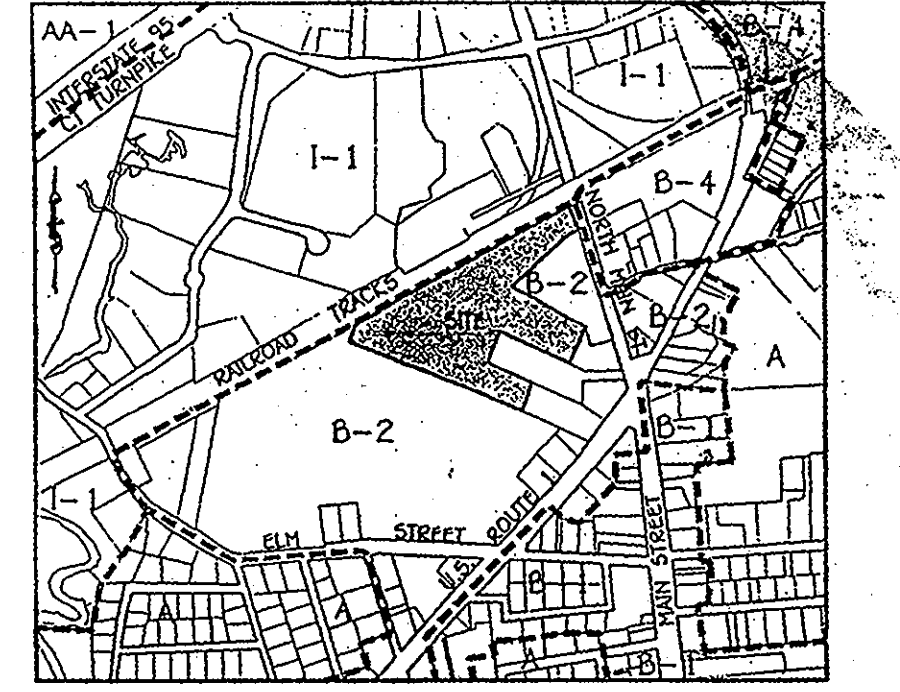
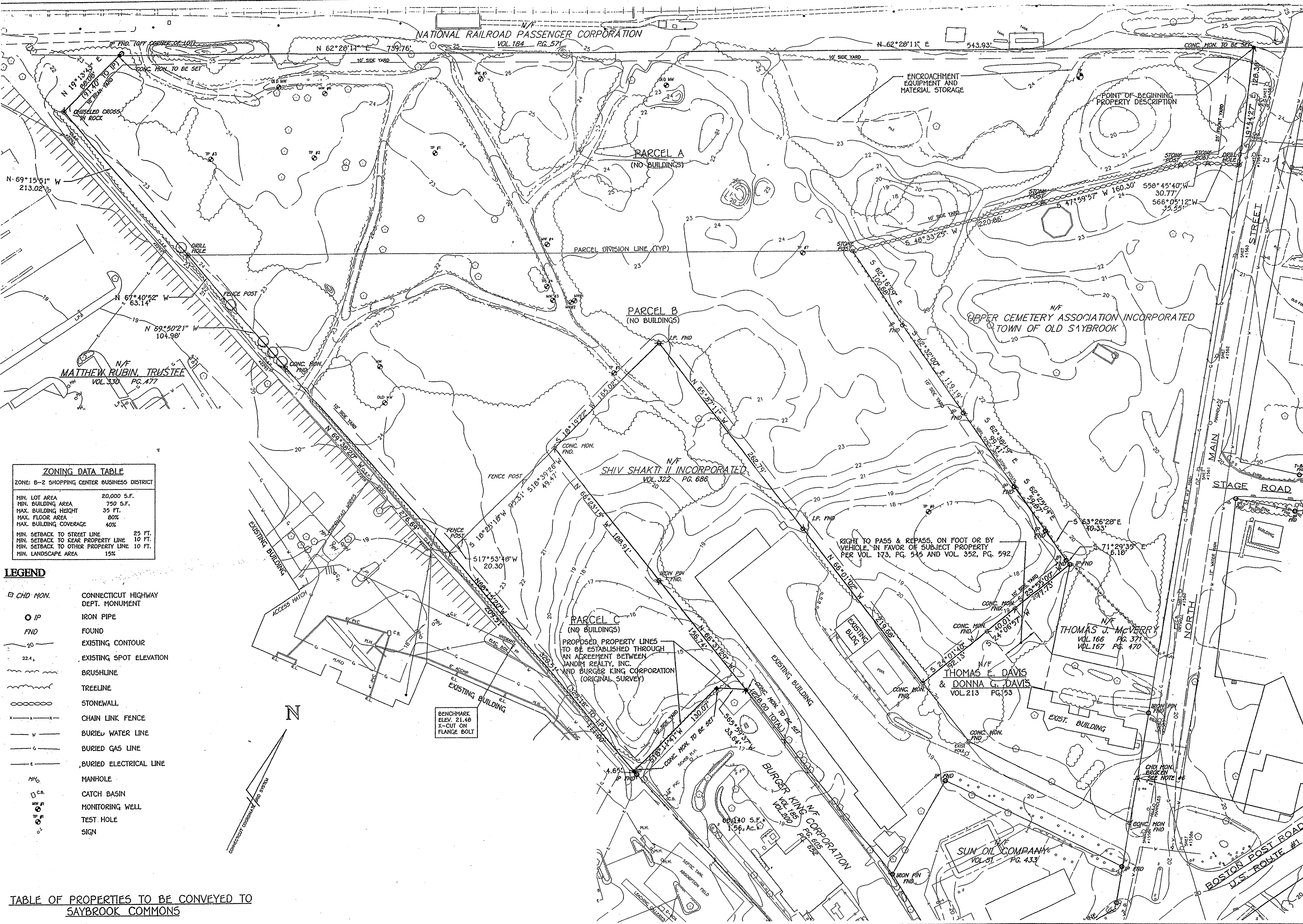
The project has been presented and/or made available to the following :

	YES	NO	DATE
Town / City Officials	<input type="radio"/>	<input checked="" type="radio"/>	
General Public	<input type="radio"/>	<input checked="" type="radio"/>	
CTDEP	<input type="radio"/>	<input checked="" type="radio"/>	

Other Date :

Keith A. Hall/kah

cc: Carl E. Nelson - JoAnn Devine
Scott A. Hill- Theodore H. Nezames- Keith
A. Hall
Eugene Colonese - Richard T. Jankovich



LOCATION MAP
SCALE: 1" = 1000'

- NOTES:
- REFERENCE IS MADE TO THE FOLLOWING MAPS:
 - CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP - TOWN OF OLD SAYBROOK, FERRY ROAD & MAIN STREET - EASTERLY 900 FEET & SOUTHERLY 2,400 FEET FROM THEIR INTERSECTION WITH ROUTE U.S. 1, DATE: JAN. 2, 1947 REV'D TO MARCH 14, 1989, NUMBER 807-A, SHEET 1 OF 2.
 - CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP - TOWN OF OLD SAYBROOK, BOSTON POST ROAD - OYSTER RIVER CUTOFF FROM OYSTER RIVER EASTERLY TO MAIN ST., ROUTE U.S. 1, DATE: NOV. 30, 1931 REV'D JUNE 7, 1962, NUMBER 879, SHEET 3 OF 3.
 - SURVEY PLAN, PORTION OF PROPERTY OF NATIONAL RAILROAD PASSENGER CORPORATION (AMTRAK) SHOWING AREA TO BE LEASED BY S.J. LIMITED PARTNERSHIP, BOSTON POST ROAD, OLD SAYBROOK, CONNECTICUT, DATE: MARCH 10, 1986 REV'D TO MAY 23, 1986, BY: ANGUS L. McDONALD & ASSOCIATES, INC.
 - SURVEY PLAN PROPERTY OF SHIV SHAKTI INCORPORATED, BOSTON POST ROAD, OLD SAYBROOK, CONN., DATE: APRIL 26, 1995, BY: ANGUS L. McDONALD & ASSOCIATES, INC.
 - MAP SHOWING PROPERTY OF ALFRED P. FALLA & KATHRYN C. FALLA, NORTH MAIN STREET, OLD SAYBROOK, CONN., DATE: AUGUST 4, 1971, BY: SAMUEL S. GREENBLATT.
 - PLAN OF LAND IN THE TOWN OF OLD SAYBROOK, CONN., FORMERLY ESTATE OF EDWARD SANFORD NOW OWNED BY CATHERINE A. MERTINS, DATE: NOVEMBER, 1922, BY: DABOLL & CRANDALL.
 - PROPERTY OF AGNES W. OWEN, NORTH MAIN ST., OLD SAYBROOK, CONN., DATE: OCT. 21, 1974, REV'D AUG. 1, 1975, BY: COASTAL ENGINEERING & SURVEY ASSOCIATES.
 - SIGHT OF WAY AND TRACK MAP - THE NEW YORK NEW HAVEN AND HARTFORD RR CO., OPERATED BY THE NEW YORK NEW HAVEN AND HARTFORD RR CO. FROM NEW HAVEN TO NEW LONDON, DATED: JUNE 30, 1914, REV'D FEB. 24, 1936, SHEET V, 51/60 13 & 32.
 - PROPERTY OF SAYBROOK MOTOR HOTEL, INC. & T CONSULTING ENGINEERS.
 - SURVEY PLAN PROPERTY OF AUDREY L. MORAN & ROBERT MORAN, STAGE ROAD & NORTH MAIN STREET, OLD SAYBROOK, CONNECTICUT, DATED: AUGUST 17, 1994, BY: ANGUS L. McDONALD & ASSOCIATES, INC.
 - PROPERTY OF ANNI L. FURLONG, PREPARED FOR BURGER KING CORPORATION, BOSTON POST ROAD, OLD SAYBROOK, CONN., DATED: OCTOBER 21, 1977, BY: ALFORD ASSOCIATES.
 - BOUNDARY SURVEY OF LAND TO BE CONVEYED TO HAN WELLS CORPORATION, 431 STREET, OLD SAYBROOK, CONN. DATED: 5-29-79 REV'D TO 7-3-79, BY: MYRON FEINSTEIN
 - PLAN OF LAND IN THE TOWN OF OLD SAYBROOK, CONN., FORMERLY ESTATE OF EDWARD SANFORD & NOW OWNED BY OWEN O'NEILL, DATED: NOVEMBER 1922, BY: DABOLL & CRANDALL.
 - AS-BUILT PLAN PREPARED FOR ISHOB RUBIN, TRUSTEE, 431 STREET, U.S. ROUTE #1 - OLD SAYBROOK, CT, DATED: OCT. '89, ROWLAND J. HARRIS & ASSOC., INC.
- CONTIGUOUS AND SPOT ELEVATIONS SHOWN HEREON TAKEN FROM AERIAL VERTICAL DATUM NGVD 1929
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA, SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND OR OTHER SOURCES SAMPLING FIELD OBSERVATION. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-492-4455
 - PROPERTY IS SUBJECT TO A PERMIT FOR POLES ON PRIVATE PROPERTY PER VOL. 28, PG. 449, IN FAVOR OF THE SOUTHERN NEW ENGLAND TELEPHONE COMPANY TO BE LOCATED ADJACENT TO LAND OF THE NATIONAL RAILROAD PASSENGER CORPORATION.
 - THE STONE WALLS AND OR FENCES SHOWN AS BOUNDARIES MAY HAVE IRREGULARITIES OF COURSE BETWEEN PRINCIPAL POINTS OF COURSE INDICATED.
 - CHD FOUND FOR REFERENCE SURVEY 1-D IN 1985, BUT FOUND BROKEN FOR RE-SURVEY IN 1996. THE 1985 LOCATION WAS REPRODUCED FOR THIS SURVEY.
 - THERE ARE NO SPECIAL FLOOD HAZARD ZONES ON THE PROPERTY AS INDICATED IN THE FLOOD INSURANCE RATE MAP OF OLD SAYBROOK, CT BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

ZONING DATA TABLE

ZONE: B-2 SHOPPING CENTER BUSINESS DISTRICT

MIN. LOT AREA	20,000 S.F.
MIN. BUILDING AREA	750 S.F.
MAX. BUILDING HEIGHT	35 FT.
MAX. FLOOR AREA	80%
MAX. BUILDING COVERAGE	40%
MIN. SETBACK TO STREET LINE	25 FT.
MIN. SETBACK TO REAR PROPERTY LINE	10 FT.
MIN. SETBACK TO OTHER PROPERTY LINE	10 FT.
MIN. LANDSCAPE AREA	15%

- LEGEND**
- CHD MON. CONNECTICUT HIGHWAY DEPT. MONUMENT
 - IP IRON PIPE
 - FND FOUND
 - EXISTING CONTOUR
 - EXISTING SPOT ELEVATION
 - BRUSHLINE
 - TREELINE
 - STONEWALL
 - CHAIN LINK FENCE
 - BURIED WATER LINE
 - BURIED GAS LINE
 - BURIED ELECTRICAL LINE
 - M/H MANHOLE
 - C.B. CATCH BASIN
 - M.W. MONITORING WELL
 - T.H. TEST HOLE
 - SIGN

TABLE OF PROPERTIES TO BE CONVEYED TO SAYBROOK COMMONS

PARCEL #	OWNER OF RECORD	AREA
A & B	JANIM REALTY CO., INC. VOL. 352, PG. 592 A - TAX MAP 39, PARCEL 9 B - TAX MAP 40, PARCEL 8-1	469,629 S.F. 10.78 AC.
C	BURGER KING CORPORATION VOL. 189, PG. 805, VOL. 200 PG. 692 TAX MAP 40, PARCEL 3	51,450 S.F. 1.19 AC.
TOTAL SITE AREA =		521,079 S.F. 11.96 AC.

BOUNDARY LINES OF ADJOINING PROPERTIES ARE SHOWN FOR GENERAL INFORMATIONAL PURPOSES ONLY AND ARE NOT TO BE CONSTRUED AS BEING ACCURATELY LOCATED OR DEPICTED.

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THESE DRAWINGS ARE THE PROPERTY OF ANGUS McDONALD/GARY SHARPE & ASSOCIATES, INC. AND HAVE BEEN SPECIFICALLY PREPARED FOR THE OWNER OF THIS PROJECT OR PROPERTY. THEY ARE NOT TO BE REPRODUCED OR USED IN PART OR WHOLE FOR ANY OTHER PURPOSE, PROJECT, LOCATION OR OWNER WITHOUT THE EXPRESS WRITTEN CONSENT OF ANGUS McDONALD/GARY SHARPE & ASSOCIATES, INC.

THE WORD "CERTIFY" AS USED IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE ENGINEER OR SURVEYOR. IT IS A DECLARATORY STATEMENT WHICH IS BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF AS SUCH IT CONSTITUTES NEITHER GUARANTEE NOR WARRANTY, EXPRESSED OR IMPLIED, OF ANY INFORMATION CONTAINED HEREON. NO CERTIFICATION IS EXPRESSED OR IMPLIED ON ANY ORIGINAL OR ANY DUPLICATE OF THIS PLAN UNLESS IT BEARS AN ORIGINAL STAMP OR SEAL AND ORIGINAL SIGNATURE OF THE INDIVIDUAL WHOSE REGISTRATION NUMBER APPEARS HEREON.

CERTIFICATION NOTES:

- THIS SURVEY PLAN HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE STATUTES SECTION 20-300a-1 THROUGH 20-300a-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1998.
- TYPE OF SURVEY: PROPERTY
- BOUNDARY DETERMINATION: RESURVEY EXCEPT AS NOTED
- THIS SURVEY CONFORMS TO THE STANDARDS AND ACCURACY OF CLASS A-2 & T-3

ANGUS L. McDONALD
CONN. L.S. #5892

LAND & MARINE
SURVEYING
PLANNING

ANGUS McDONALD
GARY SHARPE
& ASSOCIATES, INC.
SINCE 1966

P.O. BOX 908, 238 BOSTON POST ROAD
OLD SAYBROOK, CONNECTICUT 06476
TEL. (860) 388-4671 FAX (860) 388-5962

SURVEY & TOPOGRAPHY PLAN
SAYBROOK COMMONS
PREPARED FOR
JORDAN PROPERTIES
NORTH MAIN STREET
OLD SAYBROOK, CONNECTICUT

DATE: SEPT. 14, 2000 SCALE: 1"=50'
DWG: [] CKD: [] JAPPD: []
SHEET 03.01 JOB NO. 943353
REVISIONS:

**STATE OF CONNECTICUT
DEPARTMENT OF TRANSPORTATION**

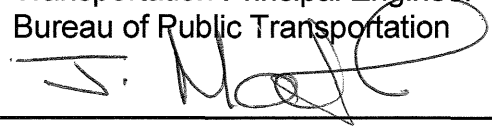
Subject: Old Saybrook Parking Lot
Feasibility Study Request

m e m o r a n d u m

Date: July 5, 2011

To: Mr. Theodore H. Nezames
Transportation Principal Engineer
Bureau of Engineering and Highways

From: Jayantha Mather 594-2885
Transportation Principal Engineer
Bureau of Public Transportation



The Office of Rail is requesting that your office perform a feasibility study for the construction of a parking lot off North Main Street near the Old Saybrook Railroad Station in the town of Old Saybrook. The Department's plan is to acquire the property shown in the attached aerial view and site plan, and to construct the maximum number of parking spots in this area to be used for the Old Saybrook Railroad Station commuters. The Office of Rail is requesting the following:

1. Gather available survey and mapping information for this area.
2. Develop a concept parking lot for the maximum number of parking spaces. A State Traffic Commission (STC) permit may be required.
3. Evaluate all impacts of constructing a parking lot in this area.
4. Develop a construction cost estimate.
5. Develop a feasibility study report with your findings.

Please let my office know of your proposed schedule to complete our request. Once we receive your findings from your feasibility study, the Bureau of Public Transportation will work with our Finance and Administration Unit to identify the total project funding.

Should you have any questions, please contact me at the above telephone number or contact Mr. Yure Kuljis at 860-594-2895.

Attachments

Yure Kuljis/yk

cc: Scott A. Hill – Theodore H. Nezames
Eugene J. Colonese – Jayantha Mather
Richard T. Jankovich – Julie Thomas
James E. Fox – Craig M. Bordiere
Yure Kuljis – Michael C. Kulak
Rail Files



Mill Rock Rd E

Amtrak-Saybrook Junction

Mill Rock Rd E

OLD SAYBROOK RAILROAD STATION

Old Middlesex Tpk

Williams Ln

154

1

Ford Dr

River St

PROPERTY TO BE ACQUIRED FOR PARKING LOT

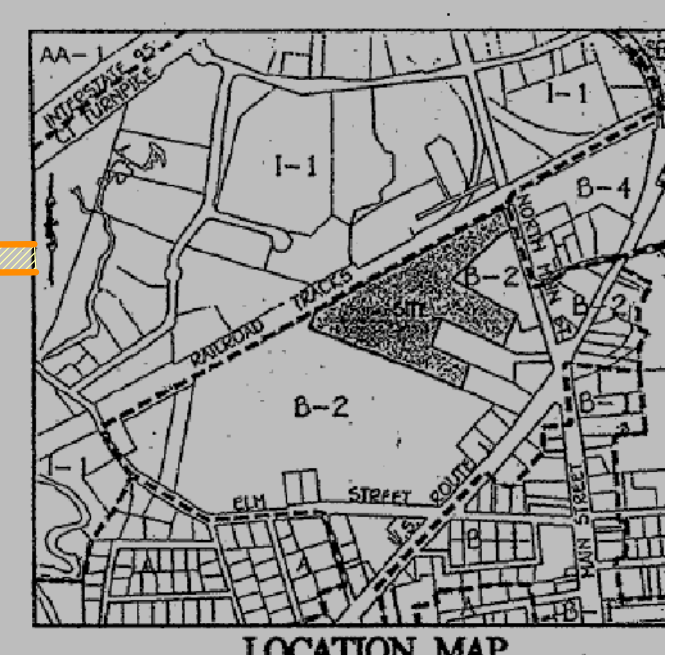
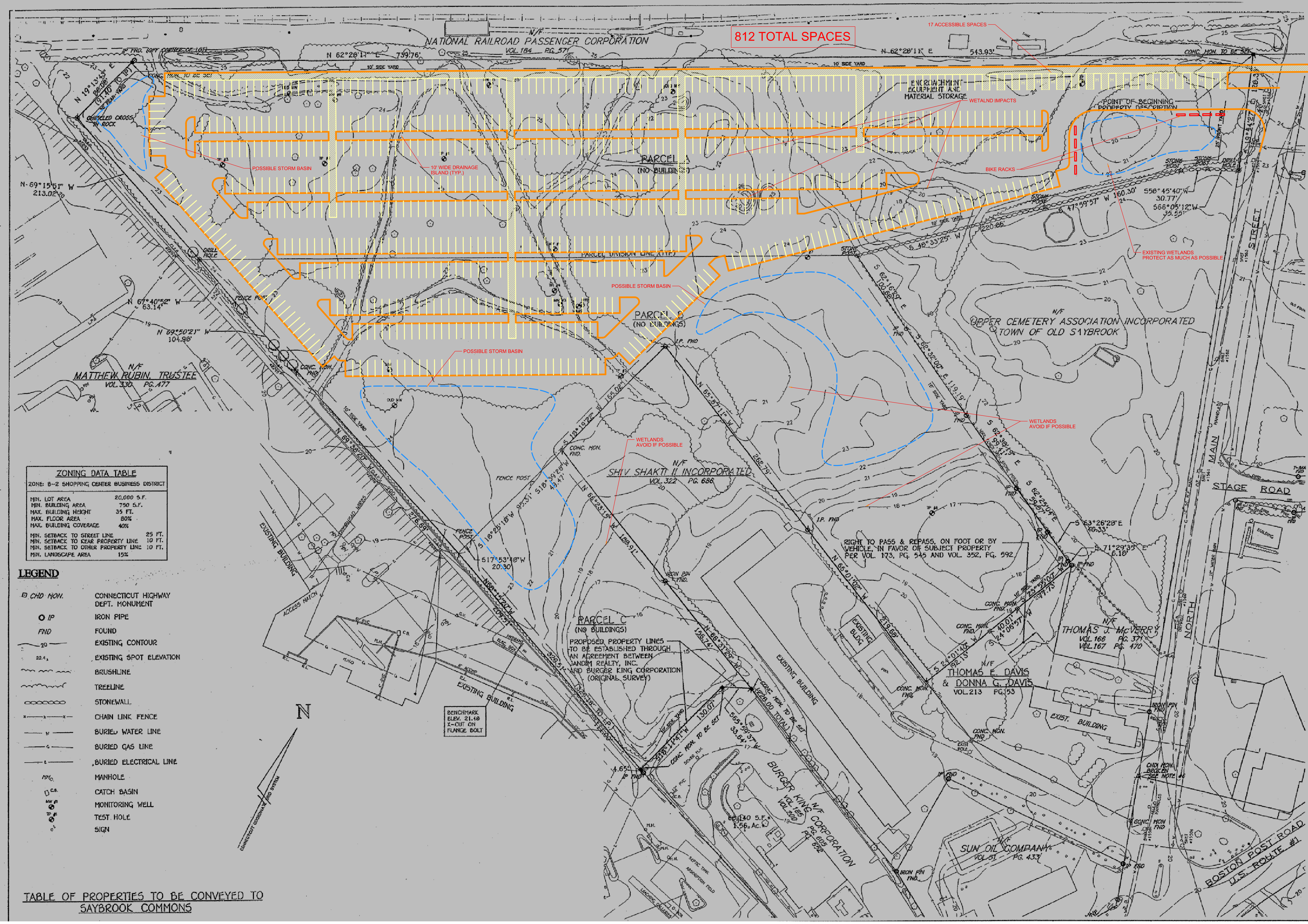
Stage Rd

N Main St

Boston Post Rd

Boston Post Rd

154



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