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NO.	DATE	REVISION

PROJECT NAME:
THE DIXWELL COMMUNITY CENTER - Q HOUSE

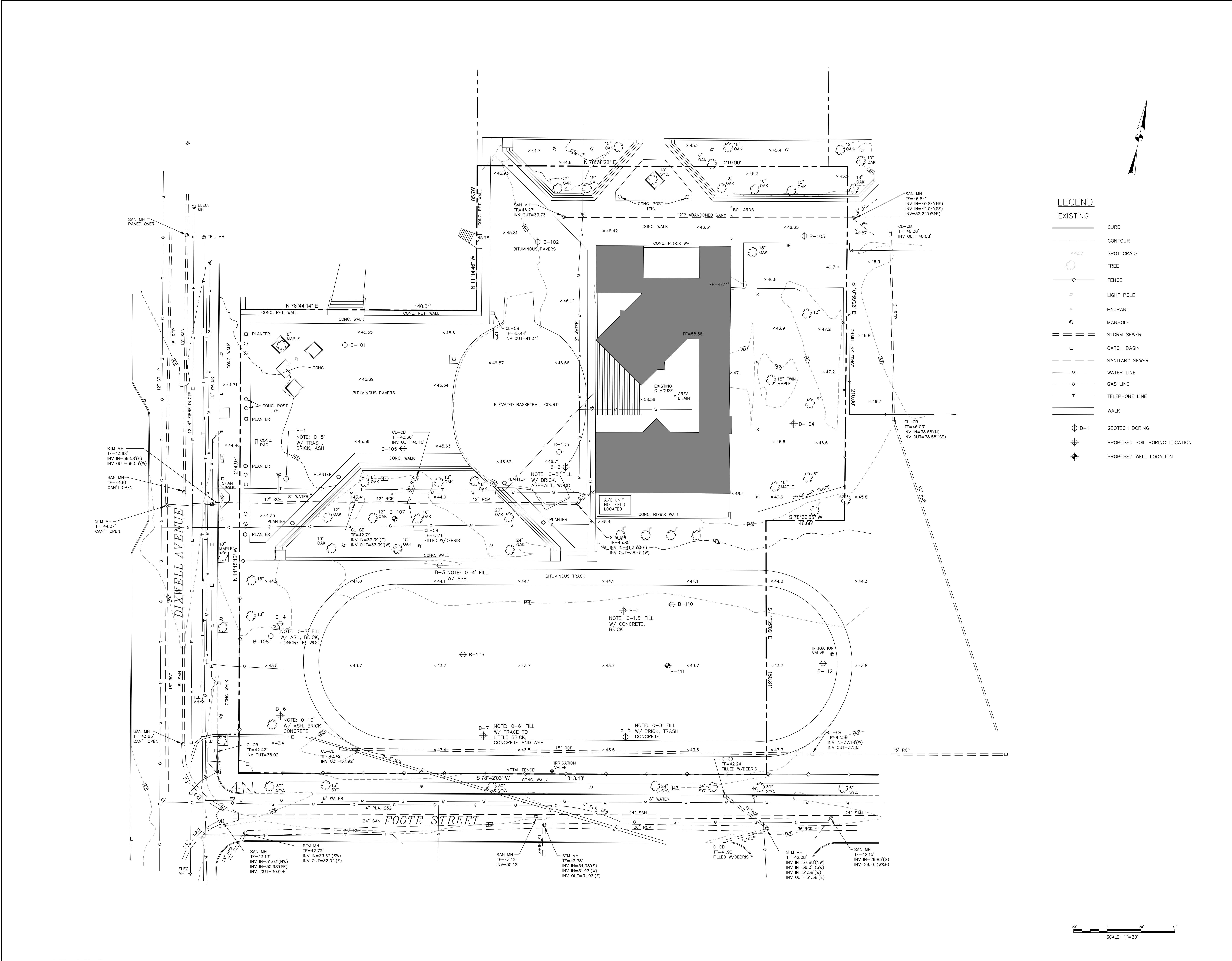
DESIGN DEVELOPMENT

BUILDING NAME & ADDRESS:
DIXWELL AVENUE
NEW HAVEN, CT

PROJECT NUMBER: 2014.203
 SEE NUMBER: N/A

DRAWING TITLE:
EXISTING CONDITIONS PLAN

SCALE: 1" = 20'
 DRAWN BY: GM
 FILENAME: 14204 EX.DWG
 DATE: SEPTEMBER 1, 2015
 DRAWING NUMBER: C.100



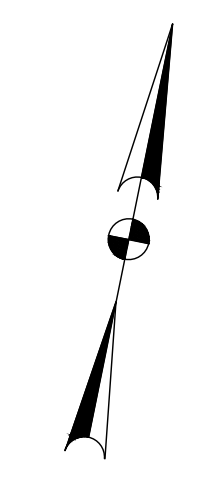
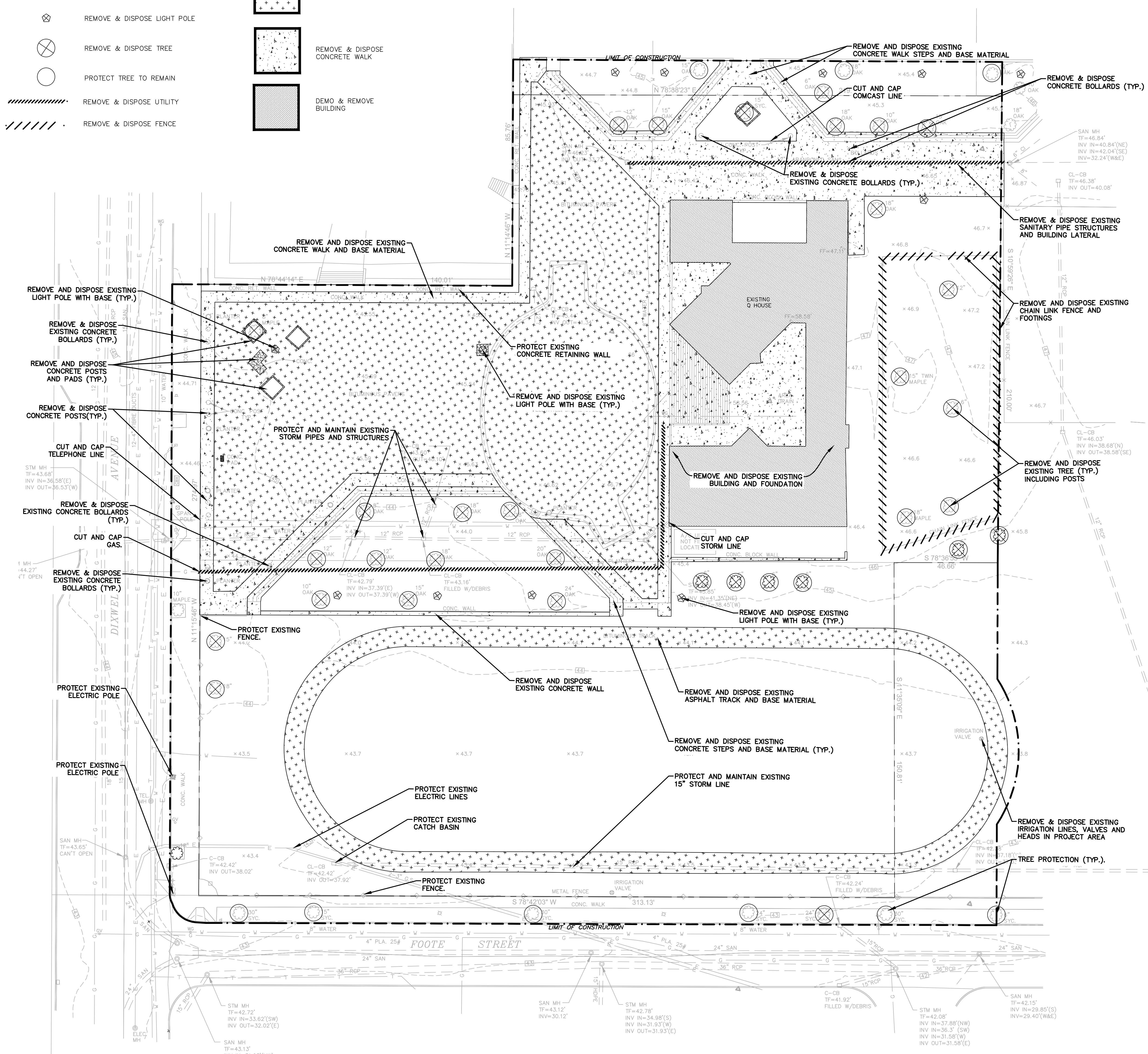
LEGEND

- EXISTING**
- CURB
 - - - CONTOUR
 - SPOT GRADE
 - TREE
 - FENCE
 - LIGHT POLE
 - HYDRANT
 - MANHOLE
 - — — STORM SEWER
 - CATCH BASIN
 - - - SANITARY SEWER
 - W WATER LINE
 - G GAS LINE
 - T TELEPHONE LINE
 - WALK
 - ⊕ B-1 GEOTECH BORING
 - ⊕ PROPOSED SOIL BORING LOCATION
 - ⊕ PROPOSED WELL LOCATION

SCALE: 1" = 20'

LEGEND:

- LIMIT OF CONSTRUCTION
- ⊗ REMOVE & DISPOSE LIGHT POLE
- ⊗ REMOVE & DISPOSE TREE
- PROTECT TREE TO REMAIN
- //// REMOVE & DISPOSE UTILITY
- //// REMOVE & DISPOSE FENCE
- ▤ REMOVE & DISPOSE BITUMINOUS CONCRETE AND PAVERS
- ▥ REMOVE & DISPOSE CONCRETE WALK
- ▧ DEMO & REMOVE BUILDING



DEMOLITION NOTES

1. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" (1-800-922-4455) FOR FIELD LOCATING AND CLEAR MARKING OF EXISTING UNDERGROUND UTILITIES BEFORE ANY EXCAVATION.
2. THE LOCATION OF ALL UTILITIES SHOWN MAY BE INCOMPLETE. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES BEFORE THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES DONE DURING CONSTRUCTION ACTIVITIES OF THIS WORK SHALL BE REPAIRED AND PAID BY THE CONTRACTOR. COORDINATE ALL UTILITY DISCONNECTIONS WITH APPLICABLE UTILITY COMPANY.
3. THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL STRIP AND STOCKPILE TOPSOIL IN AREAS WHICH ARE TO BE REGRADED.
5. DEBRIS FROM DEMOLITION SHALL BE REMOVED FROM SITE AND DISPOSED OF PROPERLY BY CONTRACTOR OFF-SITE.
6. EXISTING PAVEMENT AND CURBING TO REMAIN SHALL BE NEATLY SAWCUT TO PROVIDE A NEAT, CLEAN JOINT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FROM THE TOWN OF STRATFORD OR ANY OTHER AGENCIES WHICH HAVE JURISDICTION OVER THE WORK.
8. AFTER BUILDING AND FOUNDATION ARE REMOVED AREA SHALL BE FILLED WITH GRANULAR FILL AND COMPACTED AS DETAILED IN THE SPECIFICATIONS. REFER TO GRADING PLAN FOR PROPOSED GRADES.

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PROJECT NAME
THE DIXWELL COMMUNITY CENTER - Q HOUSE

DESIGN DEVELOPMENT

BUILDING NAME & ADDRESS
 DIXWELL AVENUE
 NEW HAVEN, CT

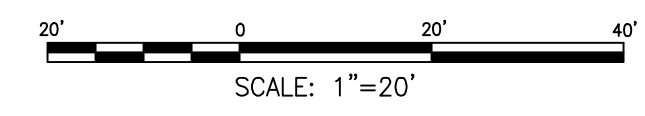
PROJECT NUMBER
 2014.203

ISSUE NUMBER
 N/A

DRAWING TITLE
DEMOLITION PLAN

SCALE
 1" = 20'

DRAWING NUMBER
C.200

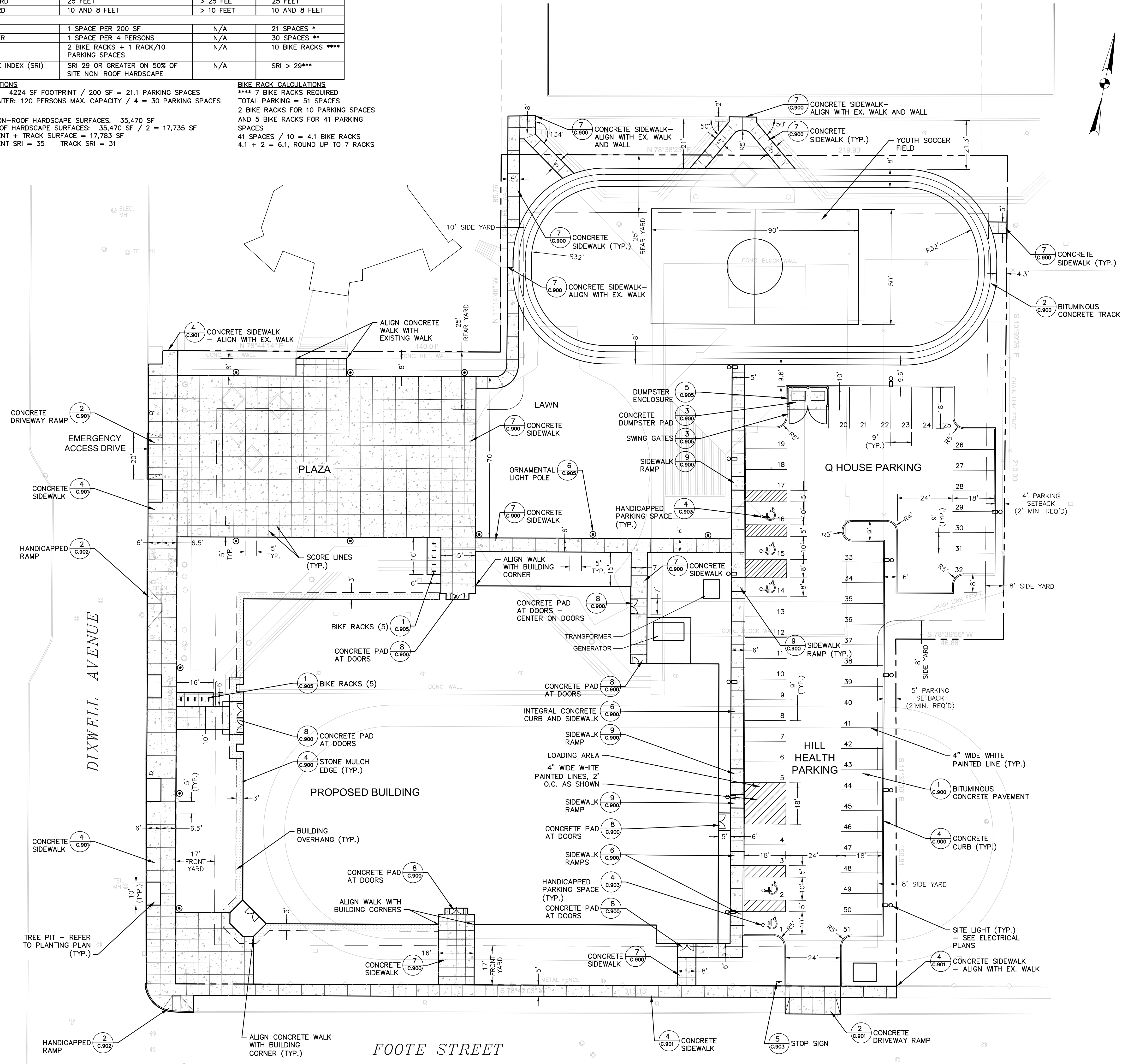


ZONE DATA CHART

ZONE: RM-2 HIGH-MIDDLE DENSITY			
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	5,400 SF	110,600 SF	SAME
MINIMUM AVERAGE LOT WIDTH	50 FEET	> 50 FEET	SAME
MINIMUM LOT AREA PER DWELLING	2,000 SF/UNIT	N/A	N/A
MAXIMUM BUILDING COVERAGE	30%	10.5%	27%
MAXIMUM BUILDING HEIGHT	45 FEET (AVERAGE) OR 4 STORIES	< 45 FEET	SAME
MINIMUM FRONT YARD	17 FEET	> 17 FEET	17 FEET
MINIMUM REAR YARD	25 FEET	> 25 FEET	25 FEET
MINIMUM SIDE YARD	10 AND 8 FEET	> 10 FEET	10 AND 8 FEET
PARKING			
HEALTH CENTER	1 SPACE PER 200 SF	N/A	21 SPACES *
COMMUNITY CENTER	1 SPACE PER 4 PERSONS	N/A	30 SPACES **
BIKE RACKS	2 BIKE RACKS + 1 RACK/10 PARKING SPACES	N/A	10 BIKE RACKS ****
SOLAR REFLECTIVE INDEX (SRI)			
	SRI 29 OR GREATER ON 50% OF SITE NON-ROOF HARDSCAPE	N/A	SRI > 29***

PARKING CALCULATIONS
 * HEALTH CENTER: 4224 SF FOOTPRINT / 200 SF = 21.1 PARKING SPACES
 ** COMMUNITY CENTER: 120 PERSONS MAX. CAPACITY / 4 = 30 PARKING SPACES
SRI CALCULATION
 *** TOTAL SITE NON-ROOF HARDSCAPE SURFACES: 35,470 SF
 50% SITE NON-ROOF HARDSCAPE SURFACES: 35,470 SF / 2 = 17,735 SF
 CONCRETE PAVEMENT + TRACK SURFACE = 17,783 SF
 CONCRETE PAVEMENT SRI = 35 TRACK SRI = 31

BIKE RACK CALCULATIONS
 **** 7 BIKE RACKS REQUIRED
 TOTAL PARKING = 51 SPACES
 2 BIKE RACKS FOR 10 PARKING SPACES
 AND 5 BIKE RACKS FOR 41 PARKING SPACES
 41 SPACES / 10 = 4.1 BIKE RACKS
 4.1 + 2 = 6.1, ROUND UP TO 7 RACKS

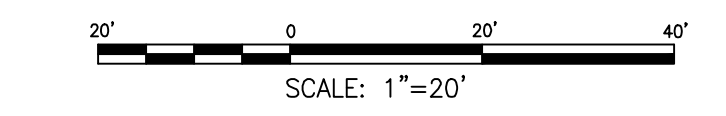


LAYOUT NOTES

- TOPSOIL AND SEED ALL DISTURBED AREAS NOT COVERED BY OTHER IMPROVEMENTS.
- STORAGE AREAS FOR THE CONTRACTOR'S MATERIALS AND EQUIPMENT SHALL BE APPROVED BY THE CITY OF NEW HAVEN.
- CONTRACTOR SHALL STAKE OUT THE LOCATIONS OF PROPOSED IMPROVEMENTS FOR APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- NEW PAVEMENT AND CURBING SHALL MEET THE LINES AND GRADES OF EXISTING PAVEMENT AND CURBING.
- MATERIALS AND CONSTRUCTION PROCEDURES USED BY THE CONTRACTOR SHALL COMPLY WITH CT DOT FORM 816 AND SUPPLEMENTS AND CITY OF NEW HAVEN REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FROM THE CITY OF NEW HAVEN OR ANY OTHER AGENCIES WHICH HAVE JURISDICTION OVER THE WORK.

LEGEND

EXISTING	PROPOSED



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DESIGN DEVELOPMENT	
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PROJECT NUMBER 2014.203	ISSUE NUMBER N/A

DRAWING TITLE LAYOUT PLAN	
SCALE 1" = 20'	DRAWN BY GM
FILENAME 14204-LY.DWG	DATE SEPTEMBER 1, 2015
DRAWING NUMBER C.300	